

GENERAL NOTES

- 1. ALL IMPROVEMENTS WHETHER PUBLIC OR PRIVATE SHALL BE CONSTRUCTED TO THE LATEST UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AS WRITTEN AND PROMULGATED BY THE MARICOPA ASSOCIATION OF GOVERNMENT (MAG) OR THE LA PAZ COUNTY CONSTRUCTION STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS SHALL BE CONSTRUCTED WITH THE INSPECTION AND APPROVAL OF THE COUNTY ENGINEER.
3. ALL CONSTRUCTION SHALL REQUIRE A COUNTY CONSTRUCTION PERMIT. CONSTRUCTION SHALL NOT BEGIN UNTIL A PERMIT HAS BEEN ISSUED FOR SUCH CONSTRUCTION AND IF WORK HAS BEEN DISCONTINUED FOR ANY REASON, IT SHALL NOT BE RESUMED UNTIL AFTER NOTIFYING THE COUNTY ENGINEER.
4. UTILITIES MUST BE INSTALLED EITHER IN PUBLIC DEDICATED RIGHTS-OF-WAY OR PUBLIC UTILITY EASEMENTS OR EASEMENTS DEDICATED SPECIALLY BY THE LAND OWNER FOR SUCH USE AND MAINTENANCE.
5. ALL UNDERGROUND UTILITIES TO BE INSTALLED IN STREETS AND PUBLIC ACCESS WAYS, SHALL BE CONSTRUCTED PRIOR TO THE SURFACING OF SUCH STREET OR PRIVATE ACCESS WAY.
6. THE DEVELOPER SHALL PROVIDE FOR AN ARIZONA REGISTERED ENGINEER TO BE PRESENT ON THE SITE FOR SURVEYOR TIME TO ASSESS COMPLIANCE WITH THE PLANS AND SPECIFICATIONS FOR EACH ELEMENT OF CONSTRUCTION AND LESS THAN ONCE A DAY WHEN CONSTRUCTION IS IN PROGRESS.
7. THE COUNTY ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY CONSTRUCTION ON THE PROJECT SITE.
8. THE COUNTY ENGINEER SHALL BE NOTIFIED UPON COMPLETION OF ALL UNDERGROUND UTILITIES WITHIN THE STREET RIGHT-OF-WAYS AND PRIOR TO ANY STREET PREPARATION WORK, INTERIM AS-BUILT PLANS OF THE UTILITIES AND ALL PASSING TESTS RESULTS SHALL BE SUBMITTED FOR REVIEW, UPON REVIEW AND APPROVAL OF THE SUPPLIED INFORMATION, THE DEVELOPER MAY PROCEED WITH THE INSTALLATION OF STREET IMPROVEMENTS.
9. THE DEVELOPER'S ENGINEER SHALL REQUEST THE COUNTY ENGINEER TO PERFORM INSPECTIONS OF THE SURGRADE BASE PRIOR TO RECEIVING THE COUNTY ENGINEER'S APPROVAL. THE COUNTY ENGINEER WILL PERFORM RANDOM INSPECTIONS THROUGHOUT THE COURSE OF THE CONSTRUCTION. THESE INSPECTIONS OR APPROVALS DO NOT SIGNIFY THAT THE COUNTY HAS ACCEPTED ANY OF THE IMPROVEMENTS FOR MAINTENANCE.
10. THE DEVELOPER'S ENGINEER SHALL SUBMIT WEEKLY PROGRESS REPORT TO THE COUNTY ENGINEER THROUGHOUT THE CONSTRUCTION. THE WEEKLY PROGRESS REPORTS SHALL INCLUDE THE RESULTS OF ALL TESTS TAKEN DURING THE WEEK.
11. TESTING DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE DONE AS REQUIRED BY THE COUNTY ENGINEER.

ENGINEER NOTES

- 1. THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO VARYING FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER.
2. PRIOR TO BIDDING THE WORK, THE CONTRACTOR SHALL THOROUGHLY SATISFY HIMSELF AS TO THE ACTUAL CONDITIONS AND EARTHWORK QUANTITIES. IF ANY, NO CLAIM SHALL BE MADE AGAINST THE OWNER/DEVELOPER OR ENGINEER FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.
3. THE ENGINEER WILL PERFORM FIELD SURVEYS FOR PAID ELEVATION CERTIFICATIONS UPON NOTIFICATION BY THE GRADING CONTRACTOR THAT THE PADS ARE COMPLETE AND READY FOR CERTIFICATION. IT IS UNDERSTOOD THAT THE DETERMINE AND VERIFY THE ELEVATIONS OF THE PADS AND THE ELEVATION OF THE FINISHED GRADE OF THE PADS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK, AND HE WILL NOT BE RESPONSIBLE FOR THE SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE CONTRACT DOCUMENTS.
7. EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED ACCORDING TO INFORMATION PROVIDED BY THE AGENCY OPERATING EACH UTILITY. LOCATIONS SHOWN ARE APPROXIMATE ONLY, AND ARE NOT RELIABLE FOR CONSTRUCTION PURPOSES. CALL BLUE STAKE FOR FIELD LOCATION @ 1-800-STAKE-IT.
8. THE ENGINEER AND APPLICABLE AGENCY MUST APPROVE, PRIOR TO CONSTRUCTION, ANY ALTERATION OR VARIANCE FROM THESE PLANS, ANY VARIATIONS FROM THESE PLANS SHALL BE PROPOSED ON CONSTRUCTION FIELD PRINTS AND TRANSMITTED TO THE ENGINEER.
9. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITIES, WHETHER SHOWN OR NOT ON THE DRAWING, SHALL BE REPERED/REPLACED AT THE CONTRACTOR'S EXPENSE. EXISTING SURFACE FEATURES AND FENCING SHALL BE REPLACED IN KIND.
10. ANY INSPECTION BY THE CITY, COUNTY, OR THE ENGINEER, SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM REQUIREMENTS.
11. CONTRACTOR TO LOCATE ALL EXISTING PROPERTY MONUMENTS PRIOR TO CONSTRUCTION. ANY MONUMENTS DISTURBED DURING THE CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
12. CONTRACTOR TO FOLLOW RECOMMENDATIONS LISTED IN THE SOILS INVESTIGATION REPORT. SHOULD ANY CONFLICTS ARISE BETWEEN THE SOILS INVESTIGATION REPORT AND THESE GRADING PLANS, THE CIVIL ENGINEER SHALL BE CONTACTED AND THE SOILS INVESTIGATION REPORT RECOMMENDATIONS SHALL BE FOLLOWED.
13. CONTRACTOR SHALL CONTACT THE OFFICE OF THE LA PAZ COUNTY ENGINEER AT LEAST THREE (3) DAYS BEFORE STARTING CONSTRUCTION.

GRADING AND DRAINAGE NOTES

- 1. ALL VEGETATION, INCLUDING ROOTS GREATER THAN ONE (1) INCH IN DIAMETER SHOULD BE REMOVED.
2. THE EXCAVATIONS LEFT FROM REMOVAL OF EXISTING UNDERGROUND UTILITIES, BRUSH AND TREES SHOULD BE BACKFILLED WITH TOP SOIL. SOIL SHOULD BE REMOVED TO FINAL UNDISTURBED SOIL. BACKFILL SHALL BE PLACED AND COMPACTED IN LIFTS NOT TO EXCEED 8".
3. ANY DRAINAGE AREAS, DITCHES OR WASHES THAT ARE TO BE FILLED SHOULD BE EXCAVATED TO THE FULL WIDTH OF CONSTRUCTION EQUIPMENT. AFTER EXCAVATION HAS BEEN COMPLETED, THE BACKFILL SHALL BE PLACED AND COMPACTED AS DESCRIBED IN SOILS REPORT.
4. ALL GRADING SHALL FOLLOW THE RECOMMENDATIONS OF THE SOILS REPORT.

ESTIMATED QUANTITIES

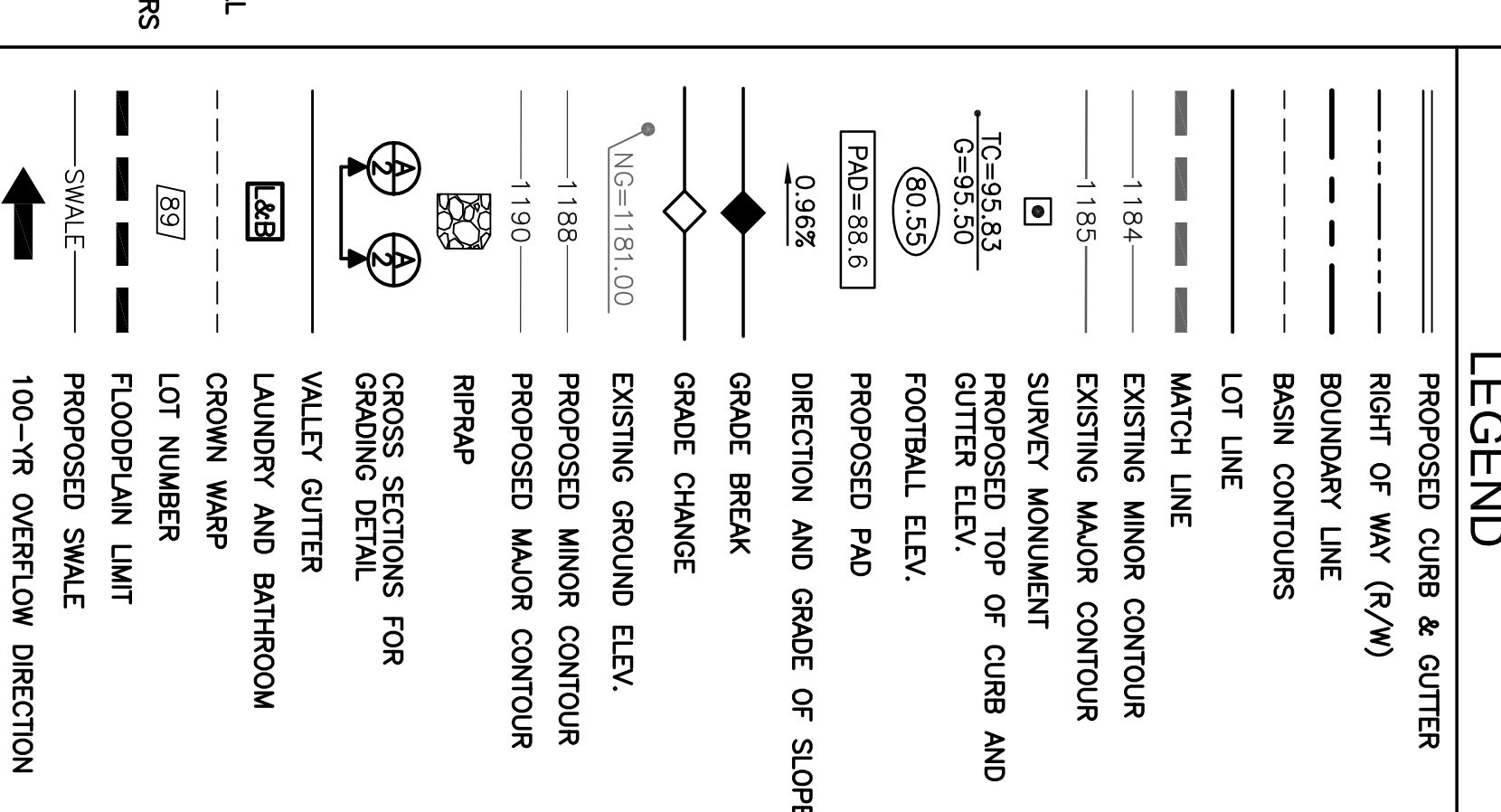
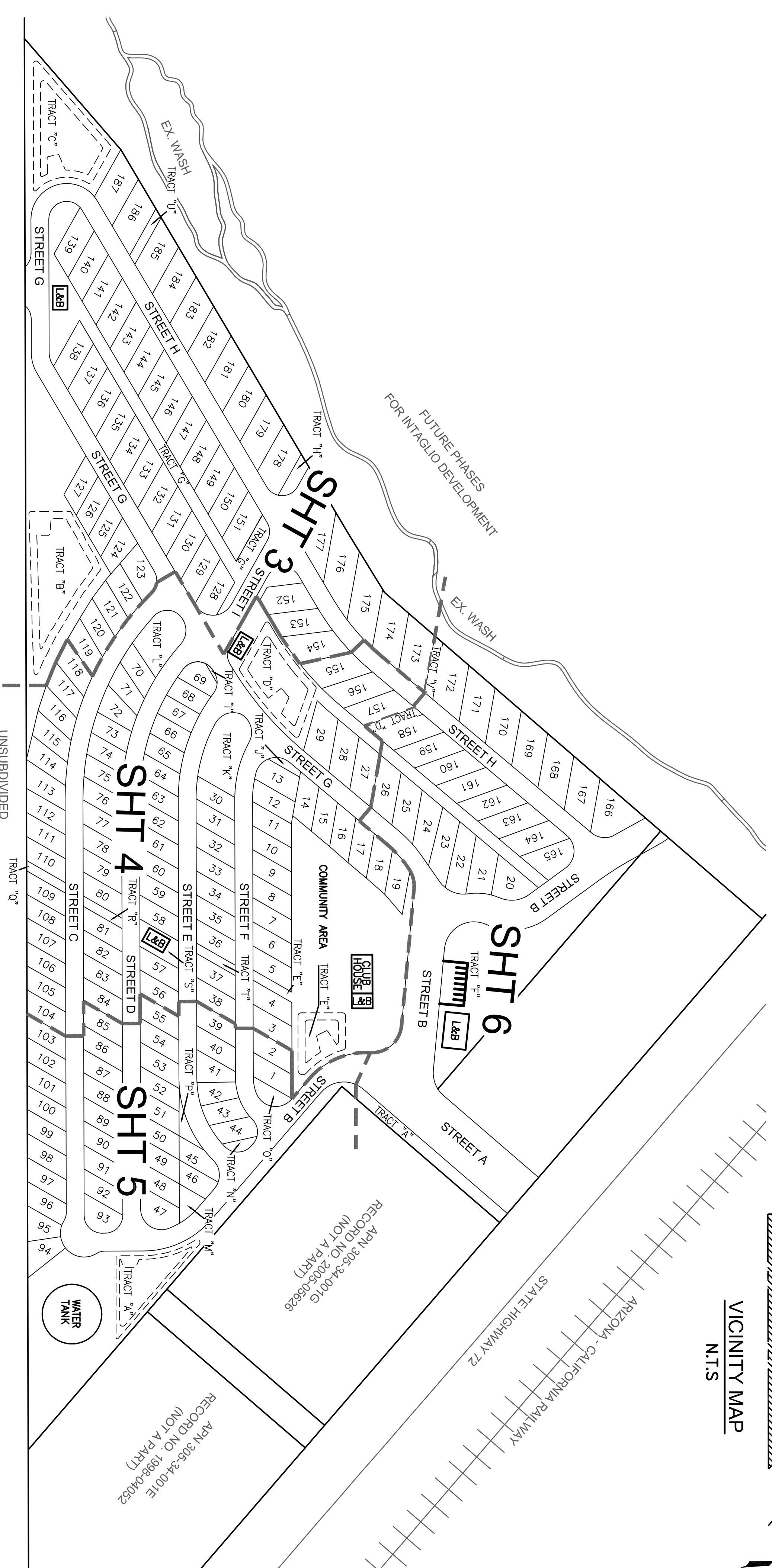
Table with 2 columns: Description and Quantity. Includes Erosion Protection / Riprap 50x6" (Typ) 2031 CF, PER LPC CONST. STD. 5-390 3463 SF, REMOVE EXISTING BUILDING.

ESTIMATED EARTHWORKS

Table with 2 columns: Description and Quantity. Includes CUT = 20092 C.Y., FILL = 25179 C.Y., NET = 5088 C.Y., REMOVE EXISTING BUILDING.

ABOVE EARTHWORK QUANTITIES ARE FOR ESTIMATING PURPOSES ONLY, NOT FOR BIDDING PURPOSES. CONTRACTOR SHALL BASE THEIR BID ON THEIR OWN QUANTITY TAKEOFFS. ENGINEERS MAKES NO GUARANTEE OF ACCURACY.
NOTE: ABOVE NUMBERS DO NOT REFLECT SPRINK/SWELL ABOVE NUMBERS OR DUE TO OVEREXCAVATION. ALL GRADING AND CONSTRUCTION ON THIS SITE SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS REPORT. ANY EXCESS MATERIAL SHALL BE USED ON THE SITE. NUMBERS SHOW ARE FOR ESTIMATING PURPOSES ONLY. CONTRACTORS SHALL PERFORM THEIR OWN, INDEPENDENT EARTHWORK ANALYSIS ON WHICH BIDS SHOULD BE BASED.

GRADING AND DRAINAGE PLAN FOR "INTAGLIO LUXURY RV RESORT" PORTION OF SECTION 5, TOWNSHIP 5 NORTH, RANGE 15 WEST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, LA PAZ COUNTY, ARIZONA

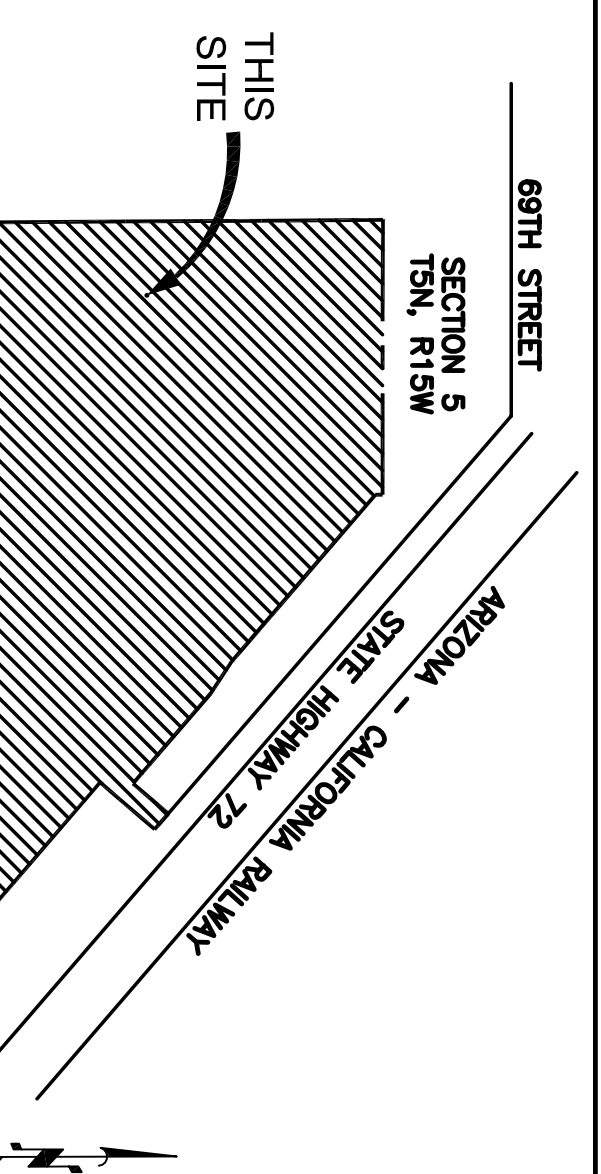


OWNER / DEVELOPER: DA TERRA PROPERTIES, LLC
7633 E. VA DEL REPOSO SCOTTSDALE, AZ 85258
ATTN: BRANDON HUDSON
ENGINEER: KINETIX ENGINEERING & CONSULTATION
12 N. CENTER STREET MESA, AZ 85201
PHONE: 480-464-5871
FAX: 480-464-5871
ATTN: DAVID M. BOHN
SURVEYOR: TERRA SURVEY AND MAPPING
PO BOX 664 SALOME, AZ 85348
PHONE: 928-859-3011
ATTN: KION HYDE

SERVICE PROVIDERS: WATER: WELL; SEWER: ON-SITE TREATMENT FACILITY; ELECTRIC: APS; GAS: NONE
BASIS OF BEARING: N-S MIDSECTION LINE BETWEEN THE NORTH 1/4 CORNER AND THE SOUTH 1/4 CORNER S 00°04'09" W 5249.64 FT MEASURED 5249.42 RECORDED
LEGAL DESCRIPTION: PORTION OF SECTION 5, TOWNSHIP 5 NORTH, RANGE 15 WEST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, LA PAZ COUNTY, ARIZONA

BENCHMARK: PORTION OF SECTION 5, TOWNSHIP 5 NORTH, RANGE 15 WEST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, LA PAZ COUNTY, ARIZONA
DESIGNATION: N281
PI: DV1197
ELEV: 1184.0
SITE SUMMARY TABLE: GROSS ACREAGE: 27.57 ACRE; NET ACREAGE: 20.92 ACRE; EXISTING LAND USE: VACANT; PROPOSED LAND USE: LUXURY RV RESORT; MIN. FRONT YARD SETBACK: 10; MIN. BACK YARD SETBACK: 10; MIN. SIDE YARD SETBACK: 7

AS-BUILT CERTIFICATION: I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION OR AS NOTED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
REGISTERED ENGINEER/SURVEYOR: DATE
APPROVED BY: THE BOARD OF SUPERVISORS HEREBY APPROVES THE WITHIN MAP AND ON BEHALF OF THE PUBLIC ACCEPTS SUBJECT TO SUBSEQUENT COMPLIANCE BY THE DEVELOPER WITH THE PUBLIC ACCESS SUBMITTAL & ZONING ORDINANCE, THE TERMS OF THE OFFER OF DEDICATION FOR PUBLIC USE IN CONFORMANCE WITH THE TERMS OF THE OFFER OF DEDICATION.
SIGNATURE OF CLERK OF THE BOARD: SIGNATURE OF CHAIRMAN OF BOARD



Project title block: GRADING COVER SHEET, "INTAGLIO LUXURY RV RESORT" LA PAZ COUNTY, ARIZONA. Includes KINETIX logo, registration information, sheet number (1 of 6), and revision table.